

**ASSIGNMENT**

**D  
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D**

**INDUSTRY**

**REQUIREMENTS**

**CONSTRUCTION**

**P-935**

**MILHANDBOOK  
1036A**

**ADA**

**ZUMWALT**

**PBMSS**

**OPNAVINST  
11103.1B**



# MINIMUM STANDARDS OF ACCEPTABLE SPACE AND PRIVACY





# MINIMUM ASSIGNMENT STANDARDS

🐼 NET LIVING SPACE

▢ PRIVACY

▢ BATHROOM CONFIGURATION











# NET LIVING AREA

## 🐾 PRIVATE ROOM

- INSIDE FACE OF PERIPHERAL WALLS
- ALL UNSHARED SPACES AND PARTITIONS

## ▢ SHARED SPACE

- CLEAR AREA ALLOCATED FOR BED, LOCKER AND CIRCULATION
- DO NOT INCLUDE: LOUNGES, BATHROOMS, HALLWAYS







# BATH CONFIGURATION

- IF ROOM HAS A BATH WITHIN THE ROOM IT IS A PRIVATE BATH
- IF TWO ROOMS SHARE THE BATH IT IS A SHARED BATH
- IF BATH IS NOT CONNECTED TO ROOMS IT IS A CENTRAL BATH





**SHARED BATH (1+1)**

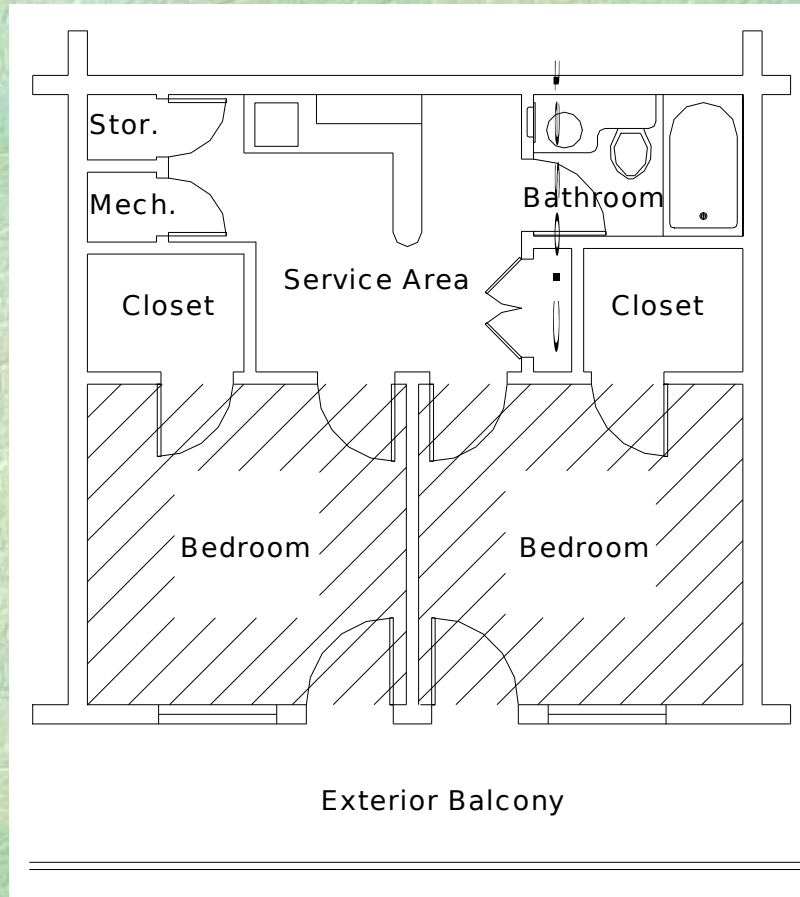
# CONSTRUCTION STANDARDS


## □ 1+1 STANDARD

- PERMANENT PARTY ONLY
  - INCLUDES HOMEPORTED  
ROTATIONALS
- OPTIONAL OUTSIDE CONUS  
FUNDED BY OTHER THAN THE  
UNITED STATES



# 1+1 Module, Exterior Access



Net Living Area  11 SM (118 SF)  
Measured from interior wall  
surface to interior wall surface.



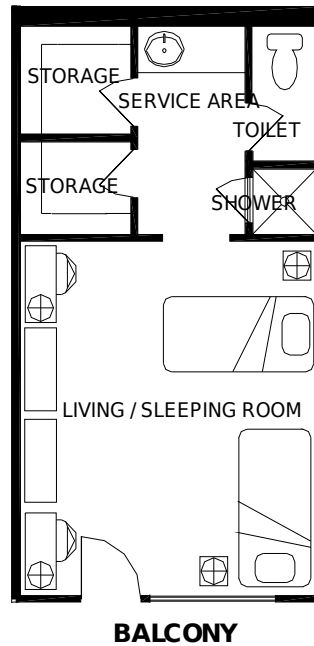
# CONSTRUCTION STANDARDS

## □ 2+0 STANDARD

- NAVY TRANSIENT
  - INCLUDING SHIPS CREWS IN COMMISSIONING, DECOMMISSIONING OR OVERHAUL STATUS
- SOME JOINT MARINE CORPS LOCATIONS



## 2+0 Module, Exterior Access



**Net Living Area = 6.7 SM (180 SF)**

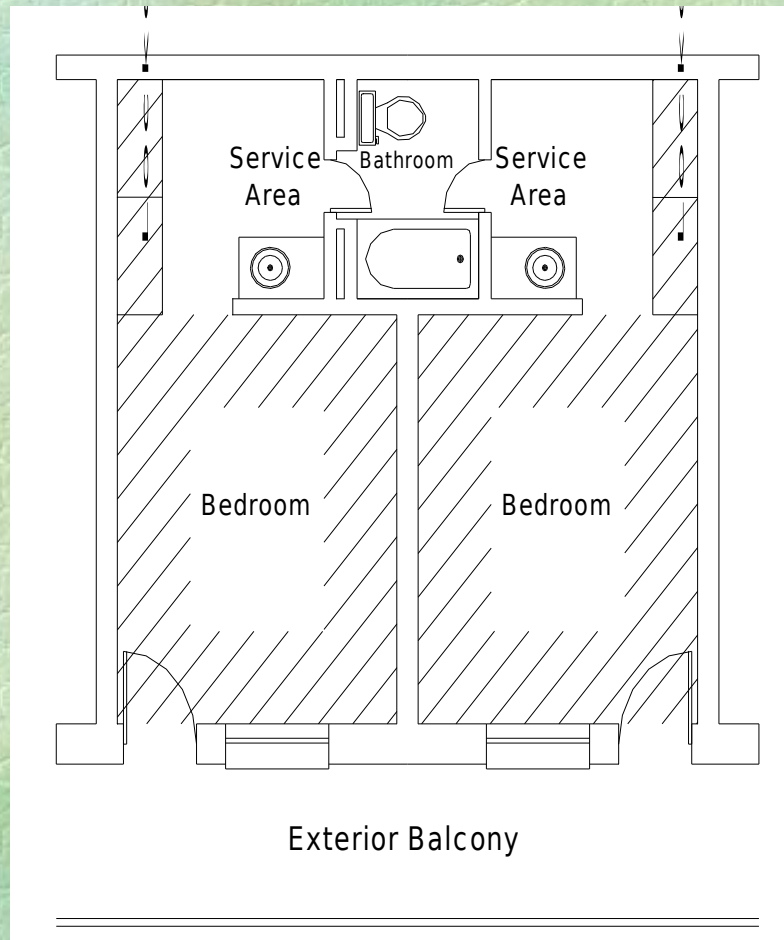
Measured from interior wall  
surface to interior wall surface.


# CONSTRUCTION STANDARDS

- 2+2 STANDARD
  - “A” SCHOOL



## 2+2 Module



Net Living Area  16.7 SM (180 SF)  
Measured from interior wall  
surface to interior wall surface.



# RENOVATIONS

- ▣ MILITARY HANDBOOK 1036A APPLIES
  - CEILING FANS
  - INDIVIDUALLY CONTROLLED HVAC
- ▣ ECONOMIC ANALYSIS REQUIRED
  - 70% REPLACEMENT COST





# RENOVATIONS

## • ADDITIONAL AREAS OF CONCERN

- SEISMIC IMPROVEMENTS
  - ZONES 1-4
  - EXECUTIVE ORDER HDN /95-001 10 JAN 95
- ASBESTOS
- LEAD
- HISTORICAL/ARCHAEOLOGICAL



# FACILITY REQUIREMENTS

👉 MILITARY HANDBOOK 1036A

## ▢ ASSISTANCE

- PWO/STAFF CIVIL
- REGION
- EFD







# ACCESSIBILITY REQUIREMENTS

- AMERICANS WITH DISABILITIES  
ACT OF 1990
- MILHANDBOOK 1036A
- SPACES OPEN TO THE PUBLIC,  
CIVILIAN STAFF, VISITORS AND  
TRANSIENTS SHOULD BE  
BARRIER FREE





# ACCESSIBILITY REQUIREMENTS

- ☛ 5% OF TRANSIENT UNITS SHOULD BE BARRIER FREE (FIRST FLOOR)
- ☐ PUBLIC REST ROOMS MUST BE ACCESSIBLE
- ☐ PUBLIC TELEPHONES--AT LEAST ONE IS ACCESSIBLE
- ☐ BARRIER FREE PARKING PLACES PER FED-STD-78



# ACCESSIBILITY REQUIREMENTS

- FRONT DESK SHOULD BE  
ACCESSIBLE TO BOTH GUESTS  
AND EMPLOYEES



# FURNISHINGS & EQUIPMENT

- MILITARY HANDBOOK 1036A
- DoD PACKAGED ROOM FURNITURE PROGRAM
- MORE MAY BE LESS
  - MAKE SURE IT ALL FITS
  - MAKE SURE IT FITS THROUGH THE DOOR









# BACHELOR HOUSING REQUIRMENTS DETERMINATION





# BASE INPUT

- 🐼 REVIEW AND UPDATE USE CODE
- ▢ REVIEW AND UPDATE CATEGORY CODES
- ▢ VERIFY CAPACITY BY UTILIZATION
- ▢ FACILITY CONDITION
- ▢ NUMBER OF ROOMS
- ▢ NET LIVING AREA



# CATEGORY CODES

## □ ENLISTED

- PERMANENT PARTY
- TRANSIENT

## □ OFFICER

- PERMANENT PARTY
- TRANSIENT



# CAPACITY BASED ON UTILIZATION

- MINIMUM ASSIGNMENT  
CRITERIA (BY USE)
  - PERMANENT PARTY
  - TRANSIENT



# NEW R-19





# NEW R-19

- CURRENT AND PROJECTED REQUIREMENTS
- PERMANENT PARTY AND TRANSIENT REQUIREMENTS



# CURRENT REQUIREMENT

- ▣ CURRENT PERSONNEL FROM BASELOADING
- ▣ ASSETS FROM R-21 REPORT
  - SHOULD REFLECT TODAY'S UTILIZATION
  - TODAY'S OCCUPANCY



# PROJECTED REQUIREMENT

- ▣ PROJECTED PERSONNEL FROM  
BASE LOADING
  - FIVE YEARS
- ▣ ASSETS AT END OF 1+1 BUILD  
OUT
  - FY 2013
  - 1+1 TRANSITION PLAN



# HOW TO CHANGE PROJECTED ASSETS

## □ REQUIRES MAJOR CLAIMANT CONCURRENCE

- START EARLY
- COORDINATE WITH/THROUGH  
REGION
- GOOD REASONS FOR CHANGES
  - MISSION CHANGES
  - POLICY CHANGES
  - FACILITYCHANGES



**QUESTIONS?**